

# 951 30TH AVE WALKWAY

951 30TH AVENUE  
SANTA CRUZ, CA 95062



**SPECTOR CORBETT ARCHITECTS INC**  
54-C Penny Lane  
Watsonville, CA  
95076-6012  
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[SPECTORCORBETT.COM](http://SPECTORCORBETT.COM)

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## ABBREVIATIONS AND SYMBOLS

ABV. ABOVE	I.C.C. INTERNATIONAL CODE
A.B. ANCHOR BOLT	IN. INCHES
A.C. ASPHALTIC CONCRETE	INCL. INCLUDE
ADJ. ADJACENT	INSUL. INSULATION
ADJ. ADJUSTABLE	INT. INTERIOR
A.F.F. ABOVE FINISH FLOOR	INV. INVERT
ALUM. ALUMINUM	K.D. KILN DRIED
APPROX. APPROXIMATE	K.D. KNOCKED DOWN
ARCH. ARCHITECTURAL	LAV. LAVATORY
@ AT	L. LENGTH
BA. BATHROOM	MAX. MAXIMUM
BD. BOARD	M.B. MACHINE BOLT
BIDG. BUILDING	MECH. MECHANICAL
BKG. BLOCKING	MEMB. MEMBRANE
BVV. BELOW	MISC. MISCELLANEOUS
BM. BEAM	MFR. MANUFACTURER
BOT. BOTTOM	MIN. MINIMUM
B.O. BOTTOM OF	MTL. METAL
BTWN. BETWEEN	INI. NEW
C.J. CONTROL JOINT	N.I.C. NOT IN CONTRACT
C.L. CENTERLINE	N.T.S. NOT TO SCALE
CLG. CEILING	O.C. ON CENTER
CIR. CLEAR	O/ OVER
COMB. COMBUSTION	O.F.C.I. OWNER FURNISHED, CONTRACTOR INSTALLED
C.M.U. CONC. MASONRY UNIT	O.F.O.I. OWNER FURNISHED, OWNER INSTALLED
CONC. CONCRETE	PERF. PERFORATED
CONT. CONTINUOUS	P.E.S.B. PREENGINEERED STEEL BIDG
C.Y. CUBIC YARD	PLYVD. PLYWOOD
(D) DEMOLISH AND REMOVE	FR. FRAM
DEMO DEMOLISH AND REMOVE	P.T. PRESSURE TREATED
DIAM. DIAMETER	RAD. RADIUS
DAG. DIAGONAL	REF. REFRIGERATOR
DBL. DOUBLE	REF. REFERENCE
DEPT. DEPARTMENT	REINF. REINFORCED
DIM. DIMENSION	REBAR. REINFORCING BAR
D.F. DOUGLAS FIR	REQ'D. REQUIRED
DN. DOWN	R/O. ROUGH OPENING
DS. DOWNSPOUT	REQ'D. REQUIRED
DTL. DETAIL	S.A.F. SELF ADHERED FLASHING
DW. DISHWASHER	SCHED. SCHEDULE
EA. EACH	SECT. SECTION
EL. ELEVATION	S.F. SQUARE FEET
ELEV. ELEVATION	SHTG. SHEATHING
EQ. EQUAL	SIM. SIMILAR
EQUIP. EQUIPMENT	SPEC. SPECIFICATION
EXIST. EXISTING	SQ. SQUARE
(E) EXISTING	S.S. STAINLESS STEEL
EXT. EXTERIOR	STL. STRUCTURAL
FEN. FOUNDATION	T.B.D. TO BE DETERMINED
F.D. FLOOR DRAIN	TEMP. TEMPERED
REINF. REINFORCED	T&G. TONGUE & GROOVE
FIN. FINISHED	THK. THICK
F.O. FACE OF CONCRETE	THRESH. THRESHOLD
F.O.C. FACE OF CONCRETE	T.O. TOP OF CONCRETE
F.O.S. FACE OF STUD	T.O.C. TOP OF CONCRETE
FIR. FLOOR	T.O.F.F. TOP OF FINISH FLOOR
F.M. FLOOR MATERIAL	T.O.P. TOP OF PLATE
F.R. FIRE RESISTIVE	T.O.S. TOP OF SLAB
F.R.P. FIBERGLASS REINF. PANEL	T.O.S.F. TOP OF SUBFLOOR
FT. FOOT OR FEET	TYP. TYPICAL
FTG. FOOTING	U.O.N. UNLESS OTHERWISE NOTED
GA. GAUGE	U.N.O. UNLESS NOTED OTHERWISE
G.I. GALVANIZED IRON	VERT. VERTICAL
GYP. GYPSUM	V.I.F. VERIFY IN FIELD
GYP. BD. GYPSUM BOARD	W. WIDE
HDR. HEADER	W/ WITH
HDRWR. HARDWARE	W.C. WATER CLOSET
H.M. HOLLOW METAL	WOOD WOOD
HORIZ. HORIZONTAL	WATER HEATER WATER HEATER
H.B. HOSE BIBB	W.P. WATERPROOFING
H. HIGH	W.R.B. WEATHER RESISTIVE BARRIER
HT. HEIGHT	W.W.F. WELDED WIRE FABRIC
HVAC. HEATING/VENTILATING/ AIR CONDITIONING	
# DOOR TAG	X XXX DETAIL TAG
X WINDOW TAG	1 A701 SECTION TAG
KEYNOTE	X X INTERIOR ELEVATION TAG
DEMO TAG	A INTERIOR ELEVATION TAG
REVISION TAG	D X B INTERIOR ELEVATION TAG
GRID LINE TAG	
FACE OF STRUCTURE DIMENSION	
FACE OF FINISH DIMENSION	
CENTER DIMENSION	
ORIGIN INDICATOR	

## GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND OTHER REQUIREMENTS WHICH HAVE BEEN ADOPTED BY THE LOCAL JURISDICTION OR ARE OTHERWISE APPLICABLE TO THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.
- THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
- EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 718 OF THE CURRENT ADOPTED EDITION OF C.B.C.
- EXITING NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS (COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.
- JOB COPIES OF THE APPROVED BUILDING PLANS, REVISIONS, AND DEFERRED SUBMITTALS SHALL BE ON-SITE DURING INSPECTIONS.

## FIRE DISTRICT NOTES

- THE BUILDING IS NOT SPRINKLERED. NO PROPOSED CHANGES
- CONTRACTOR SHALL VERIFY IN A "KNOX BOX" EXISTS, IF NOT A "KNOX BOX" SHALL BE PROVIDED AND LOCATED PER FIRE DEPARTMENT RECOMMENDATIONS. IF "KNOX BOX" EXISTS THEN CONTENTS SHALL BE UPDATED TO REFLECT NEW TENANT. EMERGENCY ACCESS KEYS INCLUDING A GRAND MASTER KEY FOR ROOMS, ELEVATOR OVERRIDE KEY, ACCESS KEY TO THE FIRE ALARM PANEL AND SPECIAL ACCESS KEYS (WHERE APPLICABLE) SHALL ALSO BE MADE PART OF THE "KNOX BOX" INVENTORY.
- FIRE ALARM PLAN SUBMITTED IS FOR REFERENCE ONLY. A SEPARATE SUBMITTAL IS REQUIRED. DRAWINGS AND SUPPORTIVE CALCULATIONS FOR ALL MODIFICATIONS TO THE EXISTING FIRE ALARM CONTRACTOR TO THE FIRE PREVENTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL PLAN SUBMITTALS REQUIRING FIRE SPRINKLERS, FIRE SERVICE UNDERGROUND, FIRE ALARMS, AND HOOD AND DUCT SYSTEMS, SHALL BE SUBMITTED AND SHALL BE APPROVED BY THE FIRE DEPARTMENT AND STATE FIRE MARSHAL BEFORE A FRAMING INSPECTION SHALL BE GRANTED BY THE BUILDING DEPARTMENT.
- JOB COPIES OF THE BUILDING AND FIRE SYSTEM PLANS AND PERMITS SHALL BE ON-SITE DURING INSPECTIONS.

## DEFERRED SUBMITTALS

ALL DEFERRED WORK SHALL BE REVIEWED BY THE ARCHITECT AND/OR ENGINEER, AS APPLICABLE, AND APPROVED WITH NO EXCEPTIONS TAKEN PRIOR TO SUBMITTING FOR BUILDING PERMIT PLAN REVIEW. CITY PLAN REVIEW APPROVAL, FEES PAID, AND DOCUMENTS ISSUED TO THE JOB SITE IS REQUIRED PRIOR TO INCORPORATING ANY DEFERRED WORK TO THE PROJECT.

THE FOLLOWING ITEMS ARE CONSIDERED DEFERRED SUBMITTALS PER CBC 107.3.4.1:

- FIRE ALARM AND MONITORING SYSTEMS

## PROJECT CONTACTS

OWNER: HOUSING AUTHORITY - SANTA CRUZ  
2931 MISSION STREET  
SANTA CRUZ, CA 95060  
T: 831-454-5928  
PETER@HACOSANTACRUZ.ORG

ARCHITECT: SPECTOR CORBETT ARCHITECTS  
CONTACT: BRIAN SPECTOR  
54-C PENNY LANE  
WATSONVILLE, CA 95076  
T: 831-319-4045  
BRIAN@SPECTORCORBETT.COM

## PROJECT INFORMATION

PROJECT NAME: 951 30TH AVE WALKWAY

ADDRESS: 951 30TH AVENUE

A.P.N.: 028091-01

PROJECT DESCRIPTION: ACCESSIBLE WALKWAY & PARKING IMPROVEMENTS

ZONING: RM-3

PARCEL AREA: 2.287 ACRES

DESCRIPTION OF USE: MULTIFAMILY HOUSING

OCCUPANCY GROUP: R-2

TYPE OF CONSTRUCTION: VB

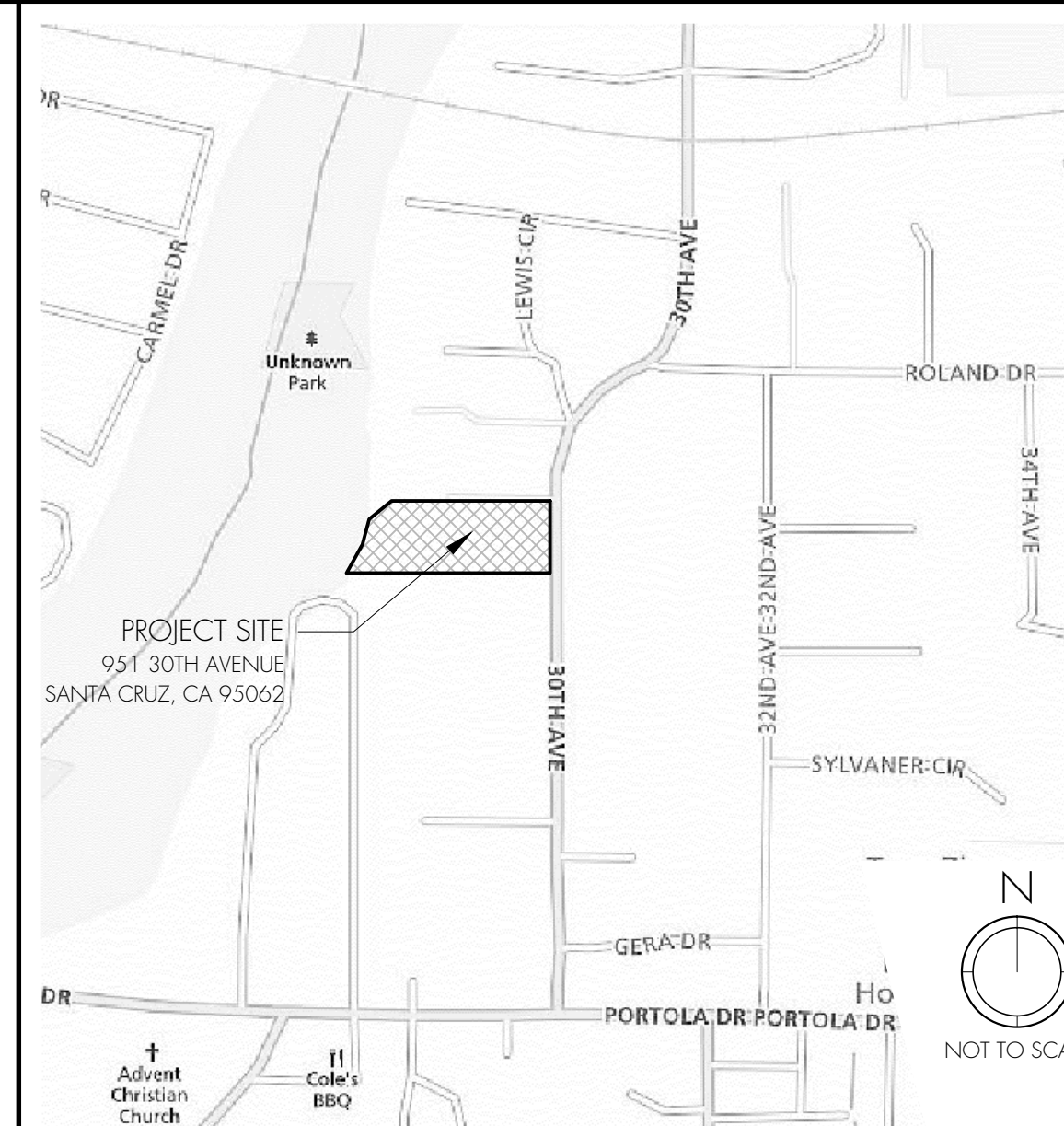
## SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
GENERAL	
A001	COVER SHEET
ARCHITECTURAL: SITE PLAN AND DETAILS	
A101	OVERALL SITE PLAN
A121	SITE DETAILS
A131	SITE ACCESSIBILITY DETAILS

## REFERENCE CODES & STANDARDS

- 2013 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24, C.C.R.
- 2013 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
- 2013 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
- 2013 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
- 2013 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
- 2013 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.
- 2013 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.
- 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen), PART 11, TITLE 24 C.C.R.
- 2013 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.
- TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- PARTIAL LIST OF APPLICABLE STATE STANDARDS
- NFPA 13, AUTOMATIC SPRINKLER SYSTEMS, (CA AMENDED) 2010 EDITION
- NFPA 72, NATIONAL FIRE ALARM CODE, (CA AMENDED) 2010 EDITION

## VICINITY MAP



PROJECT NUMBER:  
**15042**

SET ISSUED:  
PERMIT APPLICATION 08/04/2015

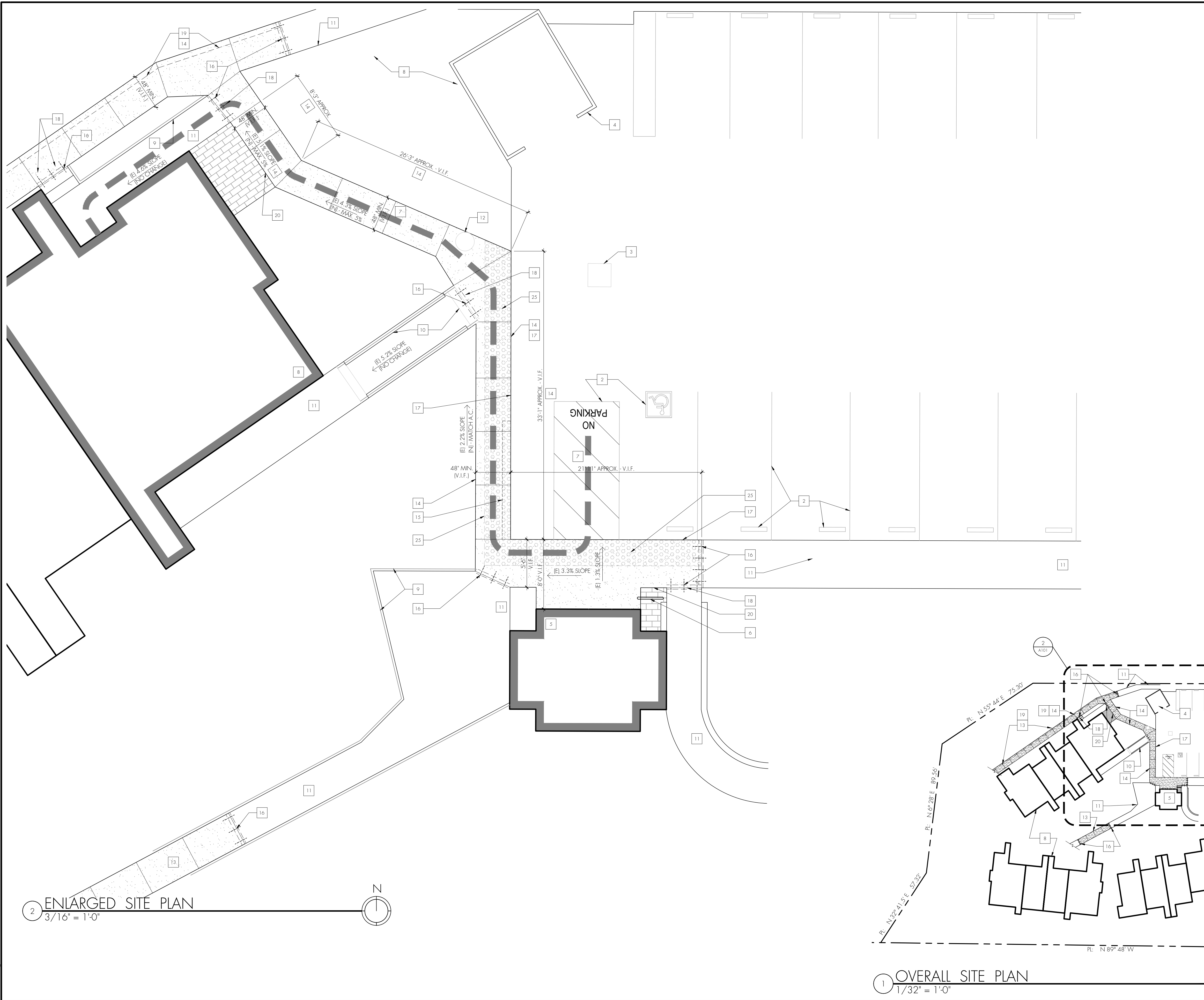
SHEET NAME:  
**COVER SHEET**

SHEET NUMBER:  
**A001**

A.P.N.: 028091-01

951 30TH AVENUE WALKWAY

951 30TH AVENUE  
SANTA CRUZ, CA 95062



**KEYNOTES**

- 1 PROPERTY LINES, AS NOTED
- 2 EXISTING PAVED DRIVEWAY, PARKING SPACES, & CONC. WHEELSTOPS - NO CHANGE PROPOSED
- 3 EXISTING CATCH-BASIN FOR SURFACE DRAINAGE, W/ STEELGRATE COVER
- 4 EXISTING TRASH ENCLOSURE
- 5 EXISTING LAUNDRY FACILITY
- 6 (E) BICYCLE PARKING - NO CHANGE PROPOSED
- 7 EXISTING ACCESSIBLE ROUTE FROM (E) PARKING, REFER TO DETAIL 4/A131
- 8 EXISTING APARTMENT BUILDINGS - NO CHANGES PROPOSED TO BLDG. EXTERIORS, ENTRANCES, WINDOWS, ROOFING, OR SQUARE FOOTAGE
- 9 (E) GALVANIZED PIPE BARRIER RAILINGS - NO CHANGE PROPOSED
- 10 EXISTING CONC. RAMPS W/ RAILINGS, TO REMAIN - NO CHANGE PROPOSED
- 11 EXISTING PAVED WALKING AREAS - CONCRETE OR PAVERS, NO CHANGE PROPOSED
- 12 (E) STORM DRAIN MAN-HOLE COVER, FLUSH W/ (EXISTING OR NEW) PAVEMENT
- 13 CONTRACTOR TO INSPECT (E) CONC. FLATWORK ON PROPERTY. WHERE IN DISREPAIR OR NON-CONFORMING TO STANDARDS NOTED IN DETAIL 4/A131, (E) FLATWORK TO BE REMOVED & REPLACED W/ NEW CONC. PAVING (AS DEPICTED ON SITE PLANS, AND/OR AS DETERMINED IN FIELD), PER DETAILS HEREIN
- 14 REMOVE & REPLACE (E) CONCRETE WALK W/ NEW CONCRETE PER 8/A131. 48" WIDE, SLOPE IN DIRECTION OF TRAVEL NOT TO EXCEED 5% - REFER ALSO TO DETAIL 4/A131
- 15 SAWCUT & REMOVE PORTION OF (E) A.C. PAVING WHERE NEW CONC. WALK TO BE INSTALLED
- 16 DOWEL NEW CONCRETE WALK INTO (E) CONC. PAVING WHERE ABUTTS / ADJOINS - REFER TO DETAIL 8/A131
- 17 WHERE NEW CONC. PAVING ABUTTS / ADJOINS (E) A.C. PAVING, INSTALL NEW CONCRETE W/ FLUSH SURFACE TRANSITION THEREWITH, AND TO CONFORM W/ REQUIREMENTS IN DETAIL 4/A131
- 18 WHERE NEW CONC. PAVING INTERSECTS AN (E) WALKWAY, RAMP, STEPS, OR LANDINGS, THE FINISH SURFACE SLOPE OF THE NEW PAVING PORTION AT THAT INTERSECTION SHALL NOT EXCEED 2%, PER DETAIL 4/A131
- 19 WHERE NEW CONC. PAVING IS INSTALLED AT SLOPING NATURAL GRADE, THE EDGE OF SAID PAVING SHALL BE DEEPENED AS NECESSARY - REFER TO DETAIL 11/A131
- 20 WHERE NEW CONC. PAVING ADJOINS OR FLANKS (E) PAVERS, CONTRACTOR TO DETERMINE CONDITION OF PAVEMENT INSTALLATION, TO PRESERVE (E) PAVERS INTACT -OR- REPLACING PAVERS W/ NEW CONC. FLATWORK PER DETAILS HEREIN
- 21 CONTRACTOR TO INSPECT (E) CONC. DRIVEWAY APRON FOR CONFORMANCE TO CURRENT COUNTY STANDARDS. WHERE IN DISREPAIR OR NON-CONFORMING TO SAID STANDARDS, REPLACE (E) APRON WITH NEW, PER COUNTY STANDARD DETAIL 6c/A121
- 22 INSTALL NEW 36" WIDE CONCRETE WALKWAY BEHIND DRIVEWAY APRON, PER COUNTY STANDARD DETAIL 6c/A121.
- 23 SAWCUT & REMOVE (E) PUBLIC SIDEWALK & (E) A.C. DRIVE PAVING TO THE EXTENT REQ'D FOR NEW WALKWAY (AND/OR APRON) CONSTRUCTION. DOWEL NEW CONC. INTO (E) ADJACENT PER COUNTY STD. DETAIL 4g/A121, AND PER DETAIL 8/A131
- 24 CONTRACTOR TO INSPECT (E) CONC. SIDEWALK FRONTING THE PROPERTY FOR CONDITION & SERVICEABILITY. WHERE IN DISREPAIR, REPLACE (E) SIDEWALK PORTIONS WITH NEW, PER COUNTY STANDARD DETAIL 4a/A121
- 25 INSTALL NEW TRUNCATED DOMES DETECTABLE WARNING ON NEW CONC. PAVING. 36" WIDE BAND ADJOINING VEHICULAR AREAS, EXTENDING TO (E) ACCESSIBLE PARKING, AS DEPICTED. REFER TO DETAIL 9/A131



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A.P.N.: 028091-01

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**15042**  
 SET ISSUED:  
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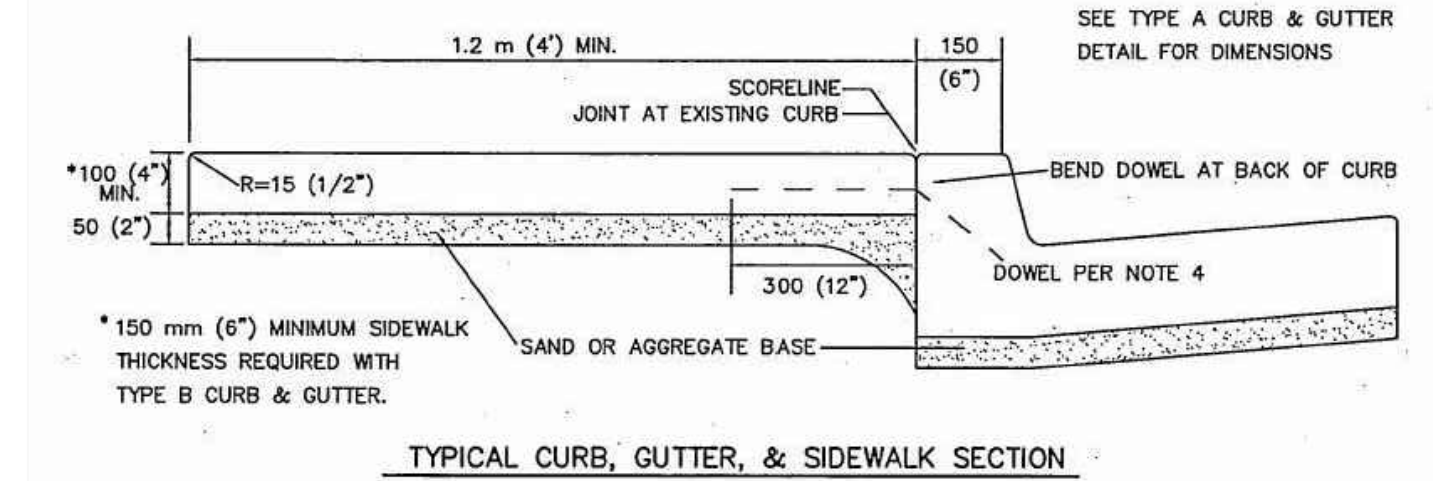
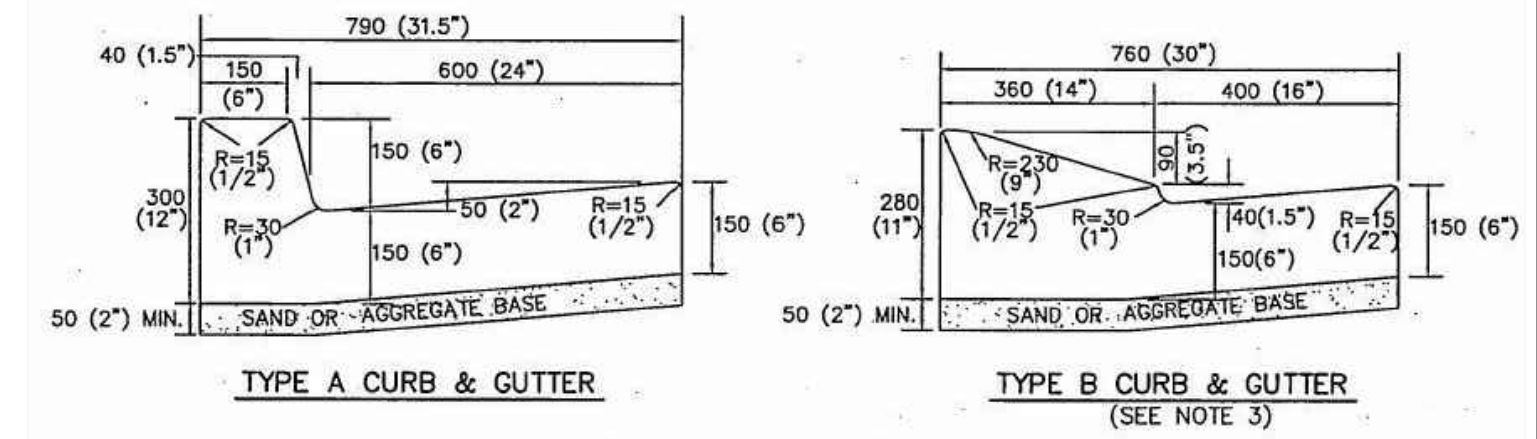
SHEET NAME:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**A101**

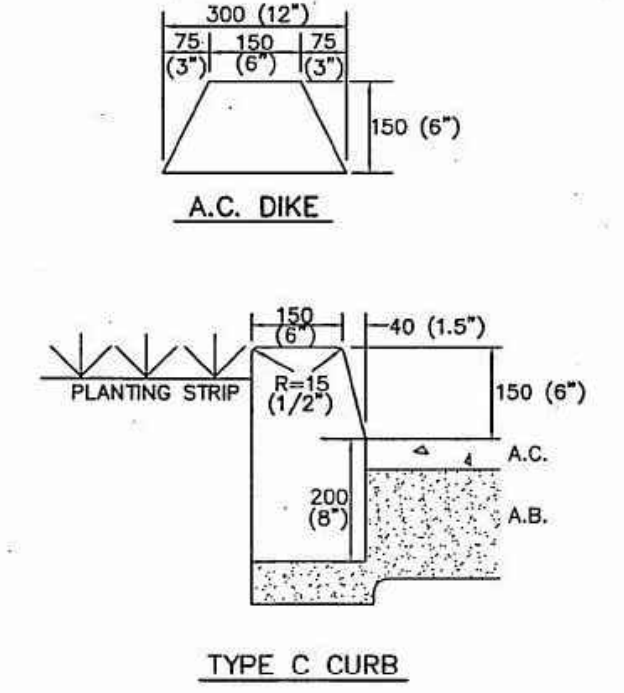
2 ENLARGED SITE PLAN  
 3/16" = 1'-0"

1 OVERALL SITE PLAN  
 1/32" = 1'-0"

Rev Date Desc 4.15

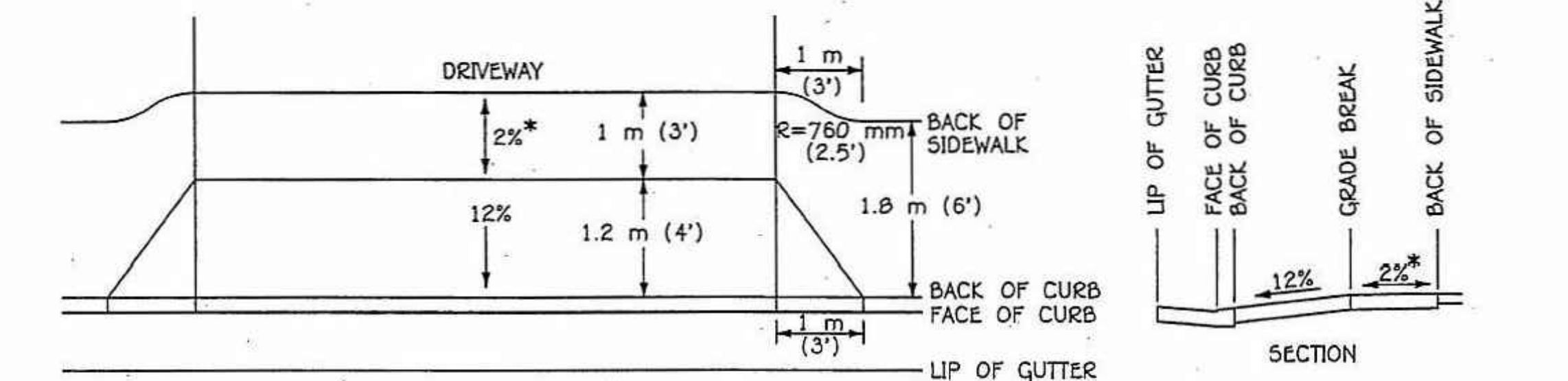


- NOTES**
- TYPE A, B, & C CURB, GUTTER, & SIDEWALK SHALL BE CONSTRUCTED OF CLASS 3 (CLASS B) CONCRETE.
  - WEAKENED PLANE JOINTS SHALL BE CONSTRUCTED AT MAXIMUM 3.6m (12') INTERVALS.
  - TYPE B CURB SHALL BE USED ONLY TO CONFORM TO EXISTING TYPE B CURB WHERE SPECIFICALLY APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
  - IF SIDEWALK IS NOT INSTALLED MONOLITHICALLY WITH CURB & GUTTER, PLACE #13 METRIC (#4) DOWELS 1.2 m (4') 450 mm (18") LONG AT 1.2 m (4') O.C. IN BACK OF CURB 50 mm (2") DOWN FROM TOP OF CURB, 150 mm (6") INTO CURB.

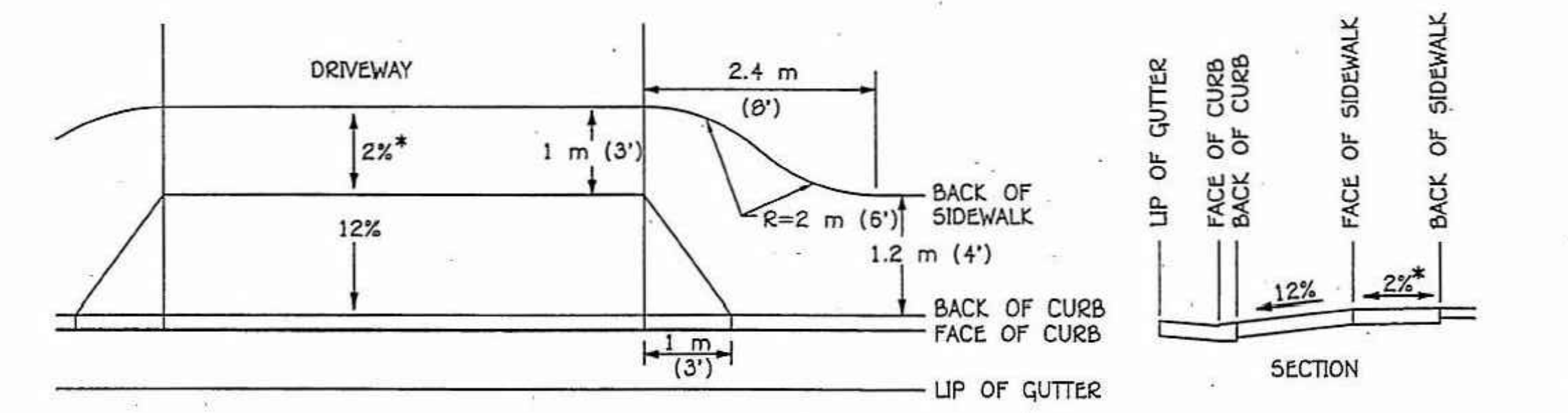


**CURB, GUTTER, SIDEWALK, AND DIKE DETAILS**

N.T.S.  
 ALL DIMENSIONS IN MILLIMETERS UNLESS NOTED OTHERWISE  
 REV. 12/05 COUNTY OF SANTA CRUZ DESIGN CRITERIA FIG. ST-4a  
 4a STANDARD DETAIL - CURB, GUTTER, & SIDEWALK  
 NO SCALE



1.8 m (6') SIDEWALK WITH 1 m (3') PATHWAY BEHIND 1.2 m (4') DRIVEWAY DEPRESSION



1.2 m (4') SIDEWALK WITH 1 m (3') PATHWAY BEHIND 1.2 m (4') DRIVEWAY DEPRESSION

\*2% SLOPE CAN BE TOWARDS OR AWAY FROM STREET, DEPENDING UPON DRIVEWAY GRADES

REV. 6/99 COUNTY OF SANTA CRUZ DESIGN CRITERIA FIG. ST-6c

6c STANDARD DETAIL - SIDEWALK WITH DRIVEWAY DEPRESSION  
 NO SCALE

A.P.N.: 028091-01

951 30TH AVE WALKWAY

951 30TH AVENUE  
 SANTA CRUZ, CA 95062

PROJECT NUMBER:  
 15042

SET ISSUED:

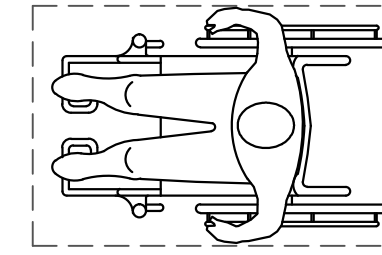
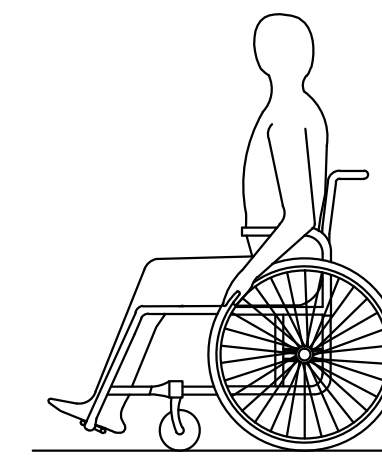
PERMIT APPLICATION 08/04/2015

SHEET NAME:

SITE DETAILS

SHEET NUMBER:

**A121**



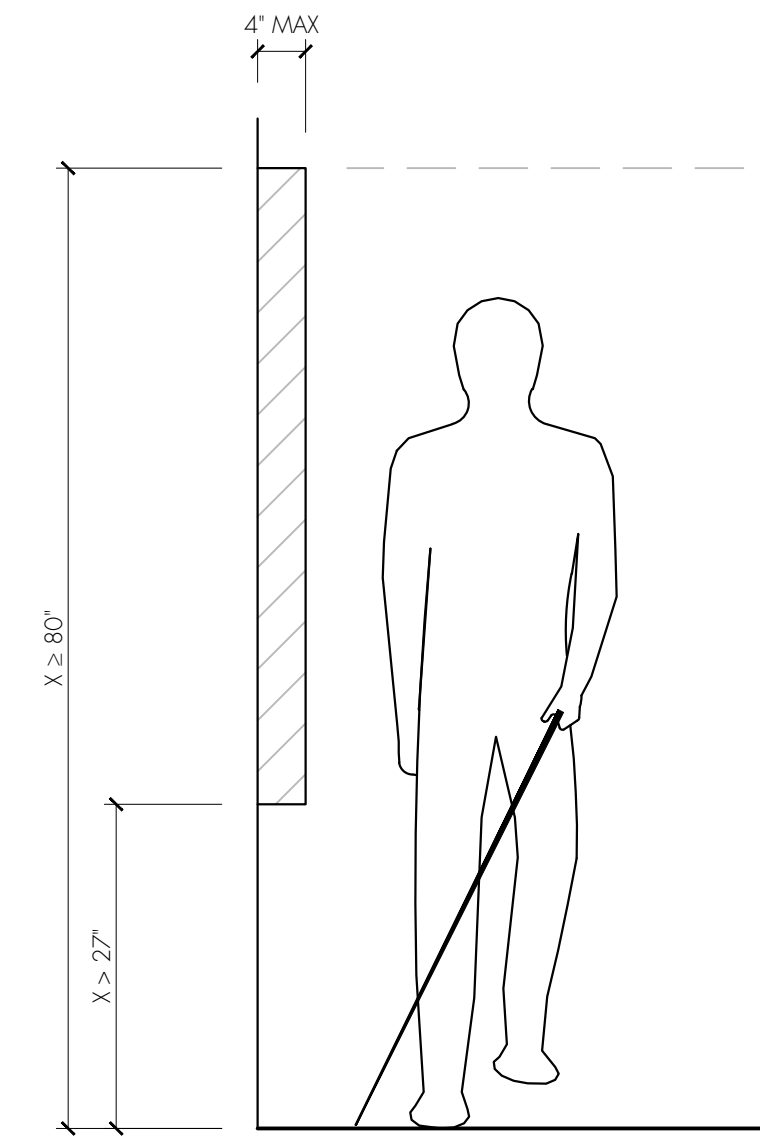
**ACCESSIBLE ROUTES**  
 FLOOR AND GROUND SURFACES

FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, SLIP RESISTANT, AND BE A CONTINUOUS ROUTE.

**CHANGES IN LEVEL:**  
 VERTICAL CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT.  
 BEVELED CHANGES IN LEVEL BETWEEN 1/4" HIGH MAX AND 1/2" HIGH MAX SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.

**SLOPE:**  
 THE RUNNING SLOPE OF SURFACES SHALL NOT BE STEEPER THAN 1:20 (5% MAX) AND CROSS SLOPE SHALL NOT BE STEEPER THAN 1:48 (2% MAX).  
 RUNNINGS SLOPES EXCEEDING 1:20 (5% MAX), BUT NOT MORE THAN 1:12 (8.33%) ARE RAMPS AND SHALL FOLLOW SUCH PRESCRIPTIVE REQUIREMENTS.

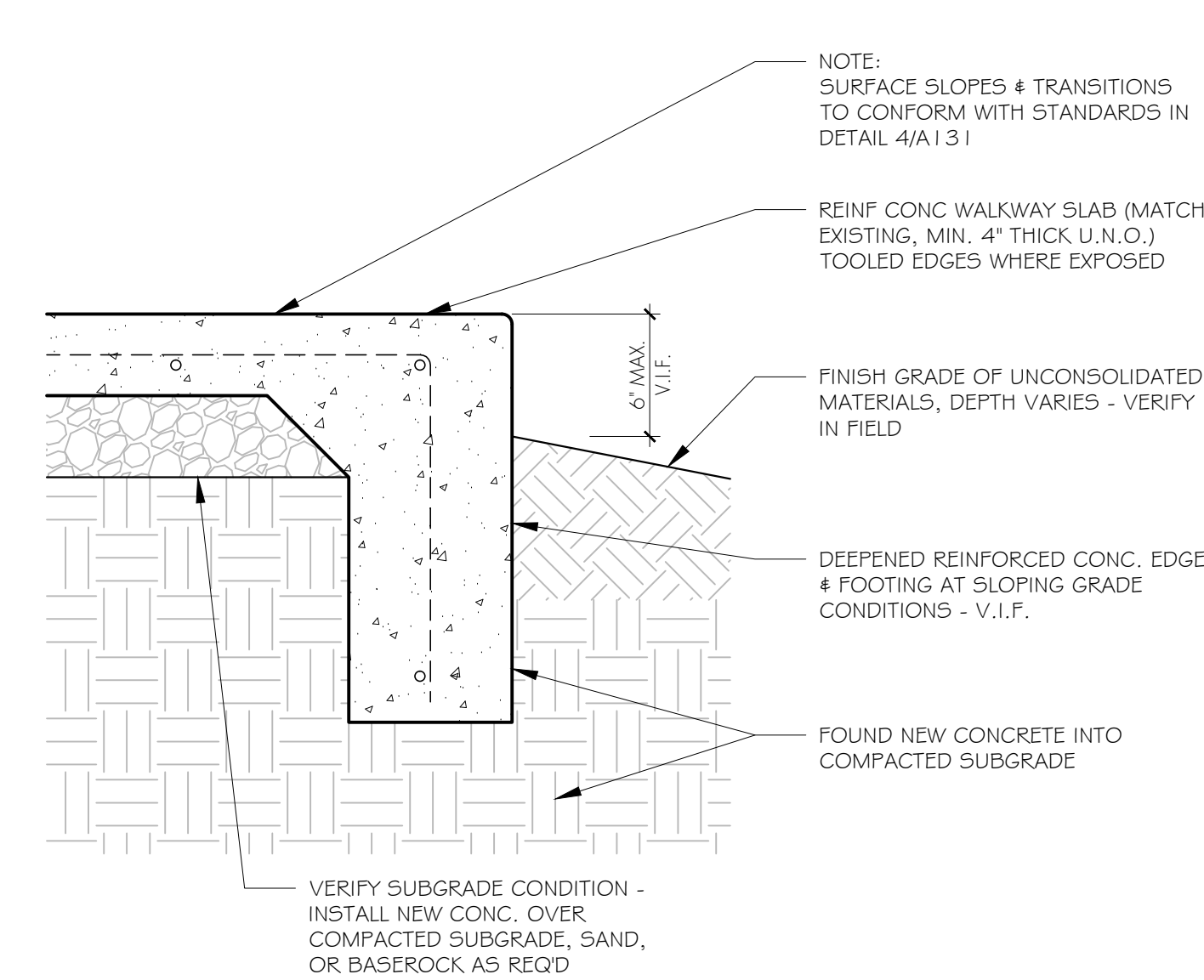
**CLEAR WIDTH:**  
 SURFACE SHALL BE 36" MIN WIDE, EXCEPT:  
 1) THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32" MIN FOR A LENGTH OF 24" MAX PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48" LONG MIN AND 36" WIDE MIN.  
 2) CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44" MIN.  
 3) SIDEWALKS AND WALKWAYS SHALL BE 48" MIN WIDE.  
 4) CLEAR WIDTH FOR AISLES SHALL BE 36" MIN IF SERVING ONLY ONE SIDE, AND 44" MIN IF SERVING BOTH SIDES.



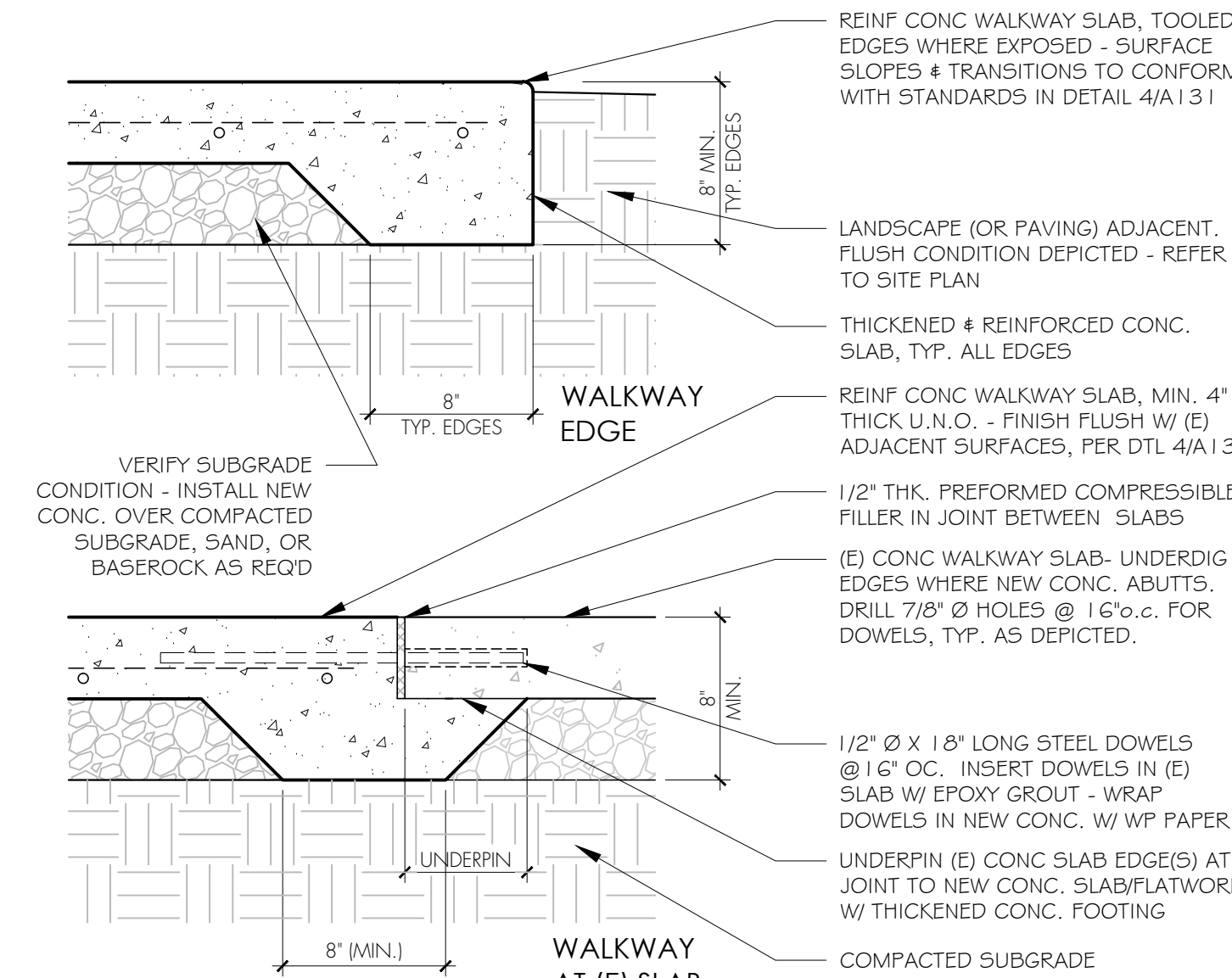
**NOTES:**  
 OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" A.F.F. SHALL NOT PROTRUDE MORE THAN 4" MAX INTO THE CIRCULATION PATH.  
 VERTICAL CLEARANCE SHALL BE 80" HIGH MINIMUM A.F.F.  
 GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE VERTICAL CLEARANCE IS LESS THAN 80" HIGH A.F.F.

4 ACCESSIBLE ROUTES  
 1/2"=1'-0"

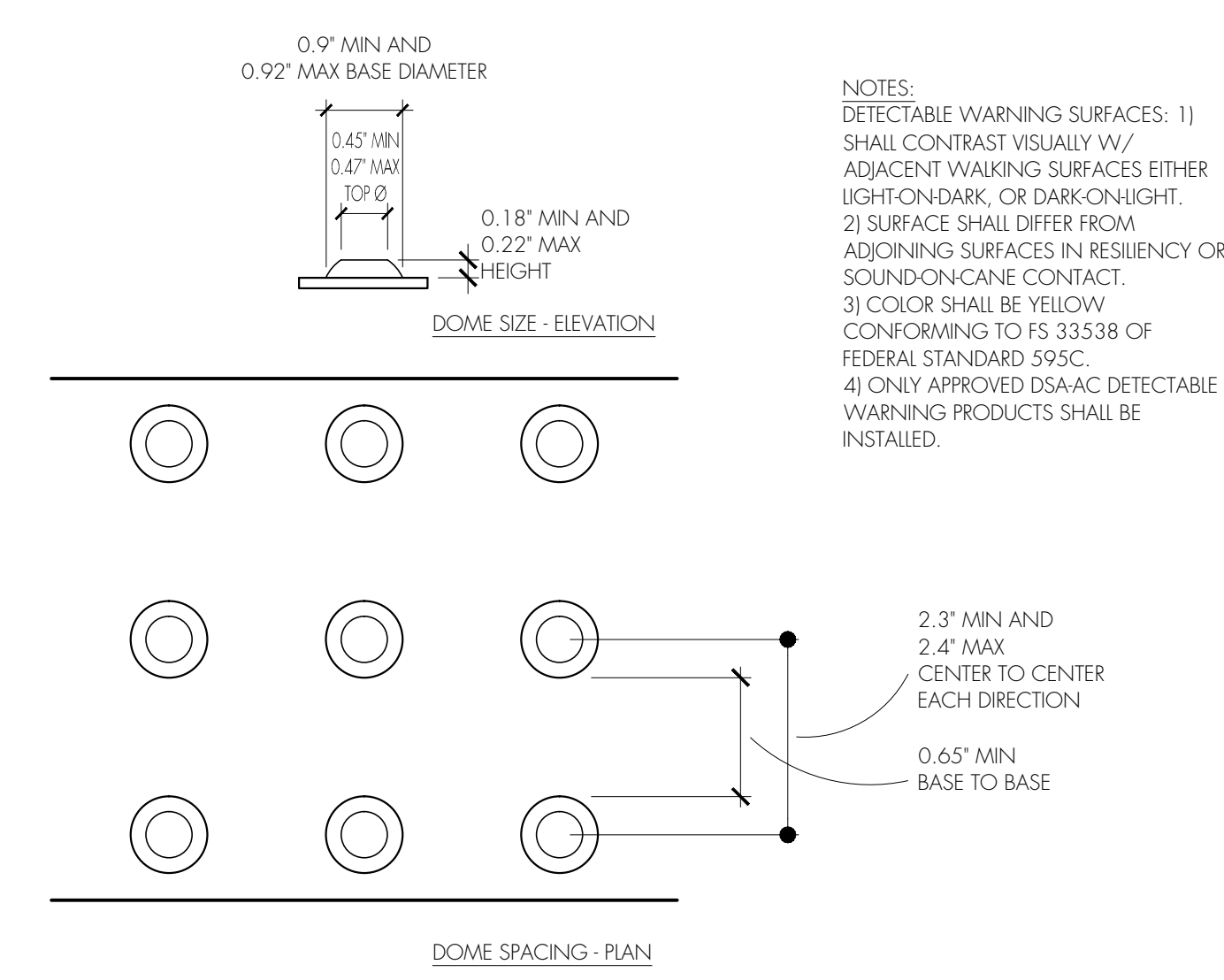
1 PROTRUDING OBJECTS  
 3/4"=1'-0"



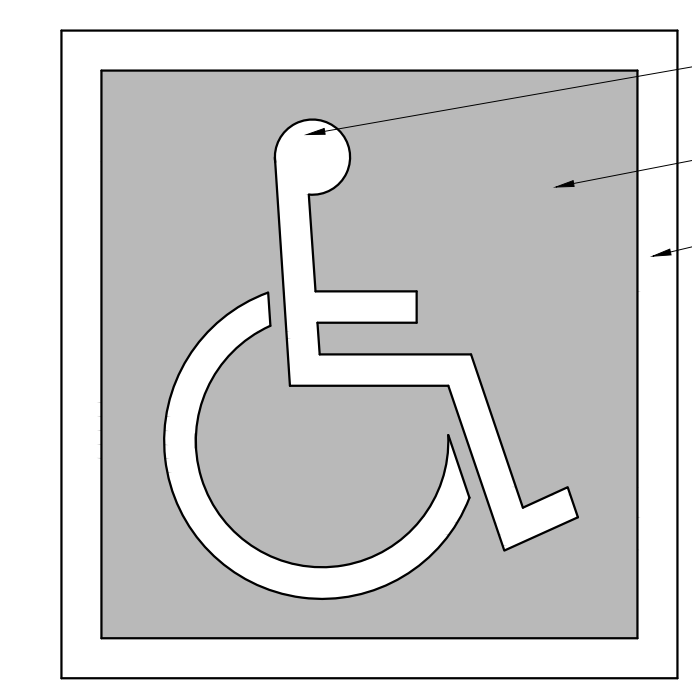
11 DEEP WALKWAY EDGES  
 1 1/2"=1'-0"



8 CONC. WALKWAY EDGES  
 1 1/2"=1'-0"



9 TRUNCATED DOMES DETECTABLE WARNING  
 3/4"=1'-0"



WHITE FIGURE  
 BLUE BACKGROUND  
 WHITE BORDER AT PARKING SPACE MARKER

**NOTES:**  
 1) ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY THAT IS 36 INCHES WIDE BY 36 INCHES WIDE. THE SYMBOL SHALL BE ON CENTER AND ALIGNED WITH THE END OF THE PARKING SPACE.  
 2) A 5"x5" ISA DECAL SHALL BE MOUNTED AT 60" AFF ADJACENT TO THE STRIKE SIDE OF EACH ACCESSIBLE ENTRANCE.

3 ACCESSIBLE SIGNAGE  
 1 1/2"=1'-0"